

City of Castle Rock

Building & Planning Department

Variance Request Packet Contents Page

141 A St SW / PO Box 370

Castle Rock, WA 98611

Phone: 360-274-8181

finance@ci.castle-rock.wa.us

bldgdept@ci.castle-rock.wa.us

Complete & Submit		☐ = Forms that need to be completed and returned to the City of Castle Rock Finance Office. ☒ = Forms and/or links that are informational and do not need to be submitted.
1		A Pre-Application Conference / Site Plan Review may be requested. Please contact City Hall for more information if you would like to schedule a pre-application conference.
2	☒	Variance Request Packet Contents (1 page)
3	☒	Application for Variance Submittal Checklist (1 page)
4	☒	Master Application (1 page)
5	☒	Application for Variance (4 pages)
6	☒	Hearings Examiner Application (2 pages)
7	☒	General Land Use Application (2 pages)
8	☐	SEPA Checklist (State Environmental Policy Act) – When Applicable – Fillable form found online at: https://ci.castle-rock.wa.us/download/SEPAchecklist_2017_locked.docx
9		Fee Schedules 1 & 5 of Resolution No. 2025-03 (7 pages) Fees are nonrefundable. The entire Master Fee Schedule is available in the Finance Office or online at: https://ci.castle-rock.wa.us
10		Excerpt from CRMC Chapter 17.77.040 Section D.5. Type V – Quasi-Judicial I (3 pages)
11		CRMC Chapter 17.79.020 Application for Variance (1page)
12		Please review the following Castle Rock Municipal Code (CRMC) online at: https://ecode360.com/CA4379 The Castle Rock Municipal Code may also be viewed in the Finance Office located in City Hall. If you prefer a paper copy of the documents below, please contact City Hall. CRMC – Title 17 Zoning CRMC – Title 18 Environmental Protection

I acknowledge the above documents and/or web addresses were provided to me in the Variance Request Packet. Furthermore, I acknowledge that information sheets are intended to assist the public in understanding the effect of codes and regulations. Information sheets are not complete statements of these codes and should not be used as a substitute for them. If conflicts arise, the codes and regulations are the final authority.

To ensure you have the most current information and applications, consult city staff. It may also be beneficial to contact city staff to be sure you understand all requirements before submitting materials or payments.

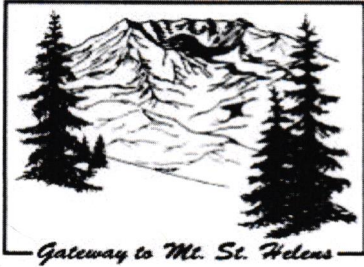
Fees are non-refundable.

Name: Michael Vorse
(Please Print)

Signature: Michael Vorse Date: 9/29/25



Receipt # 18717



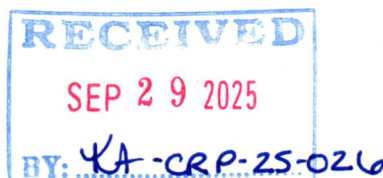
**Application for Variance
Submittal Checklist**

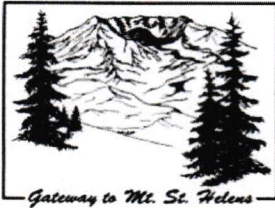
141 A St SW / PO Box 370
Castle Rock, WA 98611
Phone: (360) 274-8181
finance@ci.castle-rock.wa.us

A complete application for a variance includes, but is not limited to:

- ☒ **Variance Request Packet Contents Page** (1 page) - Print Name, Sign Name, Date
- ☒ **Application for Variance Submittal Checklist** (1 page) – Applicable Boxes Checked and Page Initialed
- ☒ **Master Application** (1 page) - Completed, Signed, and Dated
- ☒ **Application for Variance** (4 pages) - Completed, Signed, Dated, and including the required information.
 - ☒ Include any **additional pages** for the decision criteria narrative
 - ☒ **Site Plan** - One (1) reproducible copy (8-1/2" x 11" or 11" x 17"; or Seven (7) oversized copies that show the required information.
- ☒ **Hearings Examiner Application** (2 pages) – Completed, Signed, Dated, and including the required information.
 - ☐ **Names and Addresses of all property owners adjacent to, touching, abutting, adjoining or directly across a street or alley within 300 feet of lot boundaries from the property.** *It may be helpful to contact the Cowlitz County's Assessor's Office at 360.577.3010 for more information.*
- ☒ **General Land Use Application** (2 pages) - Completed, Signed, and Dated
- ☐ **SEPA Environmental Checklist** – *When applicable – Contact City Hall for more information*
- ☐ **Any Additional Information/Documents Necessary and/or Required to Process the Request**
- ☐ **Payment of Fees** – Submit Required Payment(s) – *Contact City Hall for more information*

Applicant Initials: _____





City of Castle Rock

Department Of Building and Planning

City Hall, PO Box 370 / 141 'A' St SW, Castle Rock, WA 98611
Phone: 360.274.8181 / Email: finance@ci.castle-rock.wa.us

CRP-26-025

Variance Request

PLEASE PRINT IN INK OR
TYPE

MASTER APPLICATION

PROPERTY INFORMATION

Project Address: 4411 Front Ave NW City: Castle Rock Parcel #: _____
Short Plat/Subdivision: _____ Block: _____ Lot: _____

OWNER/APPLICANT INFORMATION

Applicant/Authorized Agent: Michael Vorse Phone: 360-270-5371
Mailing Address: 122 Buland Dr City: Castle Rock State: WA Zip: 98611
Property Owner: Michael & Cora Vorse Phone: 360-270-5371
Mailing Address: 122 Buland Dr City: Castle Rock State: WA Zip: 98611
Contractor: _____ Lic #: _____ Phone: _____
Mailing Address: _____ City: _____ State: _____ Zip: _____
Lender Name: _____ Phone: _____
Lender's Address: _____

PROJECT INFORMATION

Building/Construction

- ☐ Building Permit
☐ Excavation & Grading Permit
☐ Manufactured/Structure Placement
☐ Mechanical Permit
☐ Plumbing Permit
☐ Roofing Permit
☐ Signage Permit
☐ Other _____

RECEIVED
K1 9/29/2025
CRP-25-026

Planning

- ☐ Critical Areas
☐ Flood Plain
☐ Home Occupation Business License
☒ Master Plan
☐ Mobile Home Park
☐ Plat (Preliminary)
☐ Plat (Final)
☒ Site Plan (Preliminary)
☐ Site Plan (Final)

other
variance

Environmental

- ☐ Critical Areas
☐ Flood Plain Permits
☐ SEPA
☐ Surface Mining
☐ Other _____

PROJECT DESCRIPTION

Occupancy Group: _____ Type of Construction: _____ Sq. Ft. _____ No. of Stories: _____ No. of Bedrooms: _____

Is there any grading, filling, or excavation associated with this project? _____ Quantity (cubic yards): _____
(Including grading for road construction, site preparation, and landscaping.) NO SITE WORK MAY BE DONE PRIOR TO CRITICAL AREAS DETERMINATION.

Water Supply: City Sewage Disposal: City Type of Heat: _____ Fair Market Value: _____

Does project involve Asbestos? ☐ YES ☒ NO

PROVIDE A BASIC DESCRIPTION OF THE PROPOSED PROJECT:

Variance application Single House short Plat

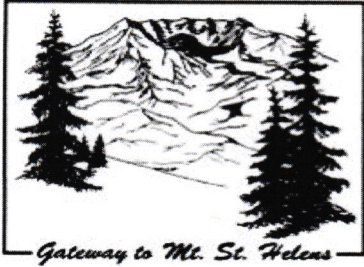
I hereby certify that I am the owner or duly authorized agent of the owner for the purposes of this application. Further, I grant permission from the owner to any and all employees and representatives of the City of Castle Rock and other governmental agencies to enter upon and inspect said property as reasonably necessary to process this application. I further certify that I have read and examined this application and know the same to be true and correct. If any of the information provided on this application is incorrect, the permit or approval may be revoked.

APPLICANT'S SIGNATURE: Michael Vorse DATE: 9/29/25

APPLICATION ACCEPTED BY: Harlan Hansen DATE: 09/29/2025

APPLICATION APPROVED BY: _____ DATE: _____

PERMIT NUMBER
CRP-26-025



City of Castle Rock

Building & Planning Department

Application for Variance

141 A St SW / PO Box 370
Castle Rock, WA 98611
Phone: (360) 274-8181
finance@ci.castle-rock.wa.us

Owner/Applicant Information

Property Owner(s): Michael & Carla Vorse Phone: 360-270-5371

Mailing Address: 122 Buland Dr. City: Castle Rock State: WA Zip Code: 98611

Applicant: Michael Vorse Phone: 360-270-5371

Mailing Address: 122 Buland Dr. City: Castle Rock State: WA Zip Code: 98611

Decision Criteria

Castle Rock Municipal Code (CRMC) 17.79.020

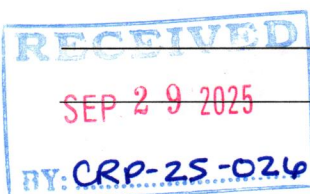
Thoroughly describe or explain how your request for variance meets each of the criteria identified below:
(Additional sheets may be added as needed.)

1. That there are exceptional or extraordinary circumstances or conditions applying to the subject property that do not apply generally to other properties in the same vicinity or zoning district, and that the plight of the applicant is unique and not the result of his own action.

We are subdividing the property @ 441 Front Ave. NW into 4 lots. We believe it will be much safer to have one point of access in this short and busy section of Front Ave. Using the existing private road will be safer & more cost effective.

2. The land or structure in question cannot be reasonably used and cannot yield a reasonable return if used only in accordance with the density requirements of this title for the district in which it is located, and that such variance is necessary for the preservation and enjoyment of a substantial property right of the applicant possessed by the owners of other property in the same vicinity or district.

N/A Safety concerns



Decision Criteria Continued on Next Page

Decision Criteria - continued

3. That the authorization of such variance will not be materially detrimental to the public welfare, not injurious to nearby property, not essentially different from the provisions of the district in which it is located.

This is true as neighboring Barr St only has 4 residences as well

4. That the granting of such variance will not adversely affect the comprehensive plan or studies thereof.

Comprehensive Plan has this zoned high density residential. This will allow 4 houses where there was only one

5. In granting a variance, the hearing examiner shall make written findings-of-fact which shall specify all facts relied upon by examiner in rendering its decision in attaching conditions and safeguard thereto. The actual terms of the variance and any conditions thereon shall be prepared and filed with the city clerk. A copy of the findings-of-fact and the variance shall be provided to the applicant and any other interested person who may request the same.

6. Variances. No use variance will be granted except for lawfully created preexisting uses.

Application Checklist

Please check each box as it is completed. When all items have been checked this Application for Variance form should be complete.

- ☒ **Narrative** addressing the decision criteria identified for each permit type - The decision criteria are located under the Decision Criteria section (numbers 1-4) of this Application for Variance form or in CRMC 17.79.020 Application for Variance. If there are additional pages, please attach them to this application.

- ☒ **Payment of Fees** (Submit Required Payment(s) – Contact City Hall for more information)

- ☒ **Site Plan:** One (1) reproducible copy (8-1/2" x 11" or 11" x 17"; or Seven (7) oversized copies showing:

Please check the appropriate boxes:

- ☒ Subject property (all property lines dimensioned) and abutting streets (existing and proposed);
- ☒ Location of the subject with regards to the nearest street intersections, including intersections opposite the subject property;
- ☒ Location of existing driveways adjacent to the subject property or on the opposite side of the street facing the subject property;



Checklist Continued on Next Page

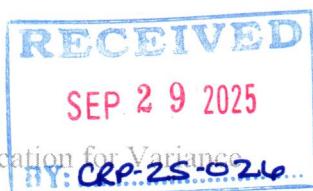
Application Checklist - continued

Please check the appropriate boxes:

- ☒ All existing public improvements including, but not necessarily limited to: applicable utilities (for example but not limited to water, sewer and storm drainage facilities, curbs, gutters and sidewalks; median islands; street trees; street lights; fire hydrants; utility poles, etc., including those adjacent to the subject site;
- ☒ Location of existing and proposed fencing or retaining walls, freestanding signs, easements, refuse areas, and on-site utility structures;
- ☒ Location and size of proposed structures, storage areas, buffer areas, yards, open spaces, and landscape areas;
- ☒ Proposed use of structures and gross floor area;
- ☒ A vehicular and pedestrian circulation plan illustrating all access points for the site, and the size location of all driveways, streets and roads, and the location, size and design of parking and loading areas;
- ☒ An estimate of the traffic generation to and around the subject property that is anticipated if the proposed development is constructed;
- ☐ Generalized grading plan, if the proposed grade differential on site will exceed 24 inches from top of the curb or adjacent properties;
- ☒ Generalized utilities plan, drainage, and stormwater runoff provisions; and
- ☐ Topographic features and contours (existing and proposed), at intervals not greater than five feet, and existing rivers, streams, lakes, marshes, wetlands, and other natural features. The extent and location of the 100-year floodplain of any nearby river or streams shall also be shown if applicable.

Process
(CRMC 17.77.040 5. d. - f.)

Within 10 working days of receipt of a complete application, the city clerk-treasurer's office shall transmit a copy of the application to the development review committee members for their comments or recommendations regarding the application. The city clerk-treasurer may also route the application to other jurisdictions or agency staff and invite their participation in the development review process if determined appropriate. If applicable, this routing will be combined with circulation of the completed State Environmental Protection Act (SEPA) checklist and the timeline for that process will supersede these procedures.



Process Continued on Next Page

Process - continued

Within 10 working days of receipt of the application materials, members of the development review committee shall forward comments to the city planner who will prepare a recommendation to the appropriate approval authority whether to approve, approve with conditions or deny the underlying permit. If additional information is necessary to properly evaluate the proposal, staff shall provide in writing sufficient direction to explain what is being requested. When significant issues are raised, a meeting between the applicant and appropriate city representatives shall be held.

Upon notice that the development review committee has prepared a recommendation, the city clerk-treasurer shall schedule a hearing with the appropriate deciding body as provided in the specific permit type.

CRMC 17.79.030 Effective Date of Orders

The order of the hearings examiner granting or denying a variance shall become effective when the decision has been rendered, unless the examiner shall set a different date for such order to become effective, which date shall not be more than 30 days from the date of entry of such order and not less than 10 days. In exercising the above, the examiner may reverse or affirm wholly or partly and may modify the order, requirements, decision, or determination as should be made in the hearing.

Required Signatures

Whenever a public hearing is required, in addition to other required data accompanying a request involving a public hearing, the applicant shall pay a fee as established by resolution of the city council to defray a portion of the expenses encountered in processing the application. **FEES ARE NOT REFUNDABLE.**

The applicant(s) hereby certify that all the statements and attached site plans and supporting documents are true and acknowledge that any permit or request granted hereunder may be revoked if it is found that such statements are false.

Michael Vorse
Applicant's Signature (if not the owner)

Michael
Print Name

9/18/25
Date

The owner(s) hereby certify that all the statements and attached site plans and supporting documents are true and acknowledge that any permit or request granted hereunder may be revoked if it is found that such statements are false.

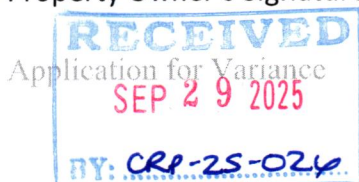
Only the property owner may sign this portion of the Application for Variance.

I certify that I am the owner of the property (ies) included in this application and certify that the information provided in this application are true and correct.

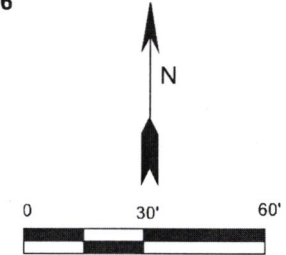
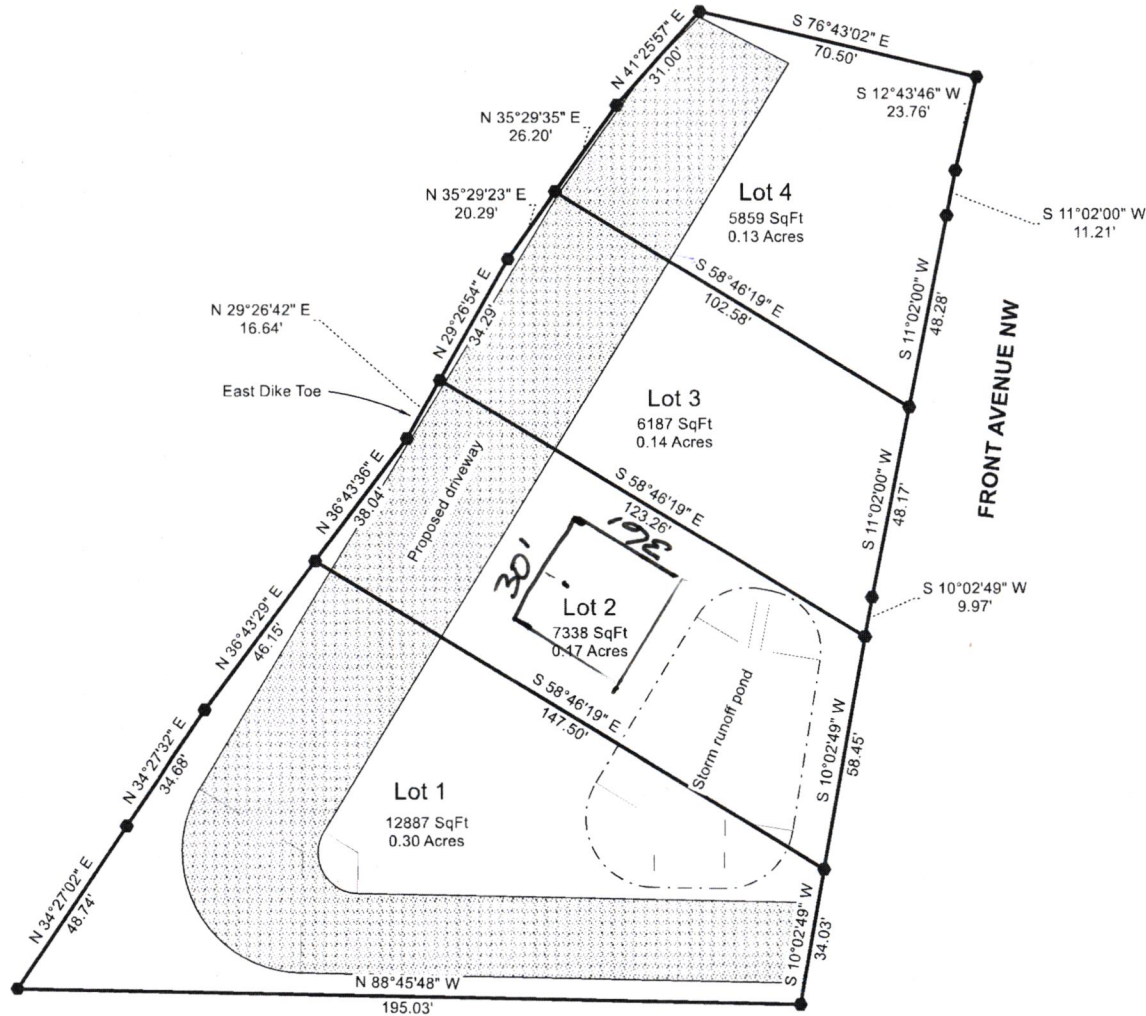
Michael Vorse
Property Owner's Signature

Michael Vorse
Print Name

9/19/25
Date

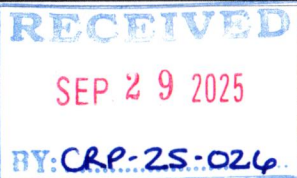


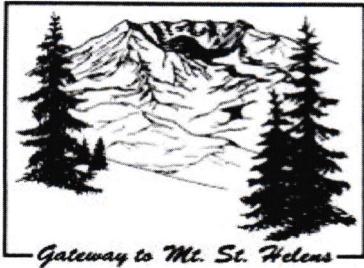
PRELIMINARY VORSE SHORT PLAT
441 FRONT AVE NW, CASTLE ROCK WA
PARCEL 30216



GRANT & ASSOCIATES SURVEYING LLC PO BOX 878 160 HUNTINGTON AVE N, SUITE C CASTLE ROCK, WA 98611 (360) 270-9632		
JOB: 2020.100	DRAWING: Prelim SP	
DATE: 3-11-2025	TIME: 6:57am	SCALE: 30 Ft/in

Traverse PC





Hearings Examiner Application

141 A St SW / PO Box 370
Castle Rock, WA 98611
Phone: (360) 274-8181
finance@ci.castle-rock.wa.us

MEETING DATE – Meetings of the Hearings Examiner shall convene when necessary to process a land use permit application. (CRMC 17.20.070 Meetings – Frequency)

HEARINGS AND SPECIAL MEETINGS – Legal notices must be published in the city's newspaper of record prior to the hearings and completed applications must be received by the city in a timely manner to allow for these publication requirements. Incomplete applications will be returned to the applicant and may result in a delay of scheduling your hearing.

APPLICATION PROCEDURE – Applicant is required to furnish names and addresses of all property owners adjacent to, touching, abutting, adjoining or directly across a street or alley within 300 feet of lot boundaries from the property. This information can be gathered by appearing in person at the Cowlitz County Assessor's office. You might want to call to schedule an appointment to complete this research; their phone number is 360-577-3010. Names of property owners must be submitted with this application and with ample time to give written notice and legal publication.

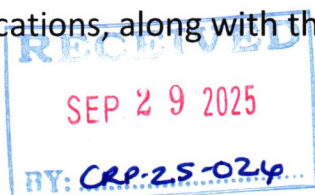
TYPES OF HEARINGS – Variances, Conditional Use Permits, Special Use Permits, SEPA Appeals, and certain Land Use Appeals.

Whenever a public hearing is required, in addition to other required data accompanying a request involving a public hearing, the applicant shall pay fees according to the City of Castle Rock Fee Schedule to the city to defray a portion of the expenses encountered in processing the application. **FEES ARE NOT REFUNDABLE.**

Please see the City of Castle Rock Fee Schedule for Applicable Fees.

The decision of the Hearing Examiner shall be final unless such decision is appealed to the Superior Court pursuant to Castle Rock Municipal Code Chapter (CRMC) 17.20.150.

Applications, along with the filing fee must be filed with the Castle Rock City Clerk.



Hearings Examiner
Application141 A St SW / PO Box 370
Castle Rock, WA 98611
Phone: (360) 274-8181
finance@ci.castle-rock.wa.us

Variance Request



Conditional Use Permit



Other Special Permit

Applicant: Michael Vorse Phone: 360-270-5371
Mailing Address: 122 Buland Drive, Castle Rock, WA 98611
Email: MCVorse@gmail.com Fax: _____

EXISTING LAND USE



COMMERCIAL



RESIDENTIAL



INDUSTRIAL

ADJACENT LAND USES

North: Municipal South: Residential
West: Dike East: City Park
Northwest: Dike Northeast: Residential
Southwest: Dike Southeast: City Park

OWNERSHIP - LIST ALL PERSONS OWNING AN INTEREST IN THE LAND

Name: Michael Vorse Address: 122 Buland Drive, CR
Name: Carla Vorse Address: 122 Buland Drive, Castle Rock

REASON FOR REQUEST - STATE REASON FOR REQUEST AND REFERENCE THE CITY ORDINANCE NUMBER

The existing private road was constructed to allow access to multiple residences. We are seeking to create 4 lots serviced by one access from Front Ave. This will help with safety & costs.
17.32.60

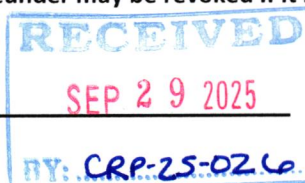
CLEARLY STATE WHY THIS PROPOSAL IS CONSISTENT WITH THE CHARACTER OF THE AREA IN WHICH IT WILL BE APPLIED

The area is residential and will maintain that way.

ON AN ADDITIONAL SHEET: LIST ADJACENT PROPERTY OWNERS WITH MAILING ADDRESSES (ALL DIRECTIONS WITH 300 FEET OF LOT BOUNDARIES AS STATED ON COVER LETTER)

Whenever a public hearing is required, in addition to other required data accompanying a request involving a public hearing, the applicant shall pay fees according to the City of Castle Rock Fee Schedule to defray a portion of the expenses encountered in processing the application. **FEES ARE NOT REFUNDABLE.**

The applicant(s) hereby certify that all the statements and attached site plans and supporting documents are true and acknowledges that any permit or request granted hereunder may be revoked if it is found that such statements are false.

Signature: Michael VorseDate: 9/18/25

Parcel Number: 30215

Neighborhood Code: 4

Neighborhood Name: CASTLE ROCK-RES

Use Code: 101

Tax Code:600

Property Owner: ENKRAF BRIAN/JENNIFER

Street Number: 415

Street Direction: NW

Street Name: FRONT

Street Suffix: AVE

Street Unit:

City: CASTLE ROCK

ZIP Code: 98611





General Land Use Application

141 A St SW / PO Box 370
Castle Rock, WA 98611
Phone: (360) 274-8181
finance@ci.castle-rock.wa.us

OFFICIAL USE ONLY

Case # _____ Related File # _____ Received By: _____

One or more of the following **Supplements** must be attached to this **General Land Use Application**:

TITLE 16 SUBDIVISIONS

- ☐ Binding Site Plan
- ☐ Boundary Line Adjustment
- ☐ Condominium Subdivision
- ☐ Final Plat (Subdivision)
- ☐ Final Short Plat
- ☐ Preliminary Plat (Subdivision)
- ☐ Preliminary Short Plat

TITLE 18 ENVIRONMENTAL PROTECTION

- ☐ Critical Areas Determination
- ☐ Critical Areas Permit
- ☐ Environmental Questionnaire
- ☐ SEPA Checklist
- ☐ Shorelines Conditional Use
- ☐ Shorelines Substantial Development
- ☐ Shorelines Variance

TITLE 17 ZONING

- ☐ Annexation
- ☐ Bed & Breakfast – (CUP)
- ☐ Comprehensive Plan Amendment
- ☐ Conditional Use Permit = (CUP)
- ☐ Home Occupancy Business License
- ☐ Home Occupancy in an Accessory Building – (CUP)
- ☐ Manufactured Home Park
- ☐ Recreational Vehicle Park – (CUP)
- ☐ Request for Clarification
- ☐ Rezone
- ☐ Similar Use Authorization
- ☐ Special Use Permit
- ☒ Variance

OTHER

- ☐ Request for Pre-Application Meeting
- ☐ Wireless Communications Facilities - (CUP)
- ☐ Other _____

Project Name: Vorse Short Plat

Project Address: 441 Front Ave NW
Castle Rock, WA 98611

Applicant: Michael Vorse
Phone: 360-270-5371
E-mail Address: mcvorse@gmail.com

Mailing Address: 125 Buland Dr
Castle Rock, WA 98611

Owner: Michael & Carla Vorse
(If other than applicant)
Phone: 360-270-5371
E-mail Address: mcvorse@gmail.com

Mailing Address: Same as above

SEP 29 2025

BY: CRP-25-024

Other Authorized Representative (if any): _____	
Mailing Address: _____	
Phone: _____	
E-mail Address: _____	
Project Description: <u>Request for variance for private road access variance</u>	
Size of Project Site: <u>4 lots</u>	
Assessor Tax Parcel Number(s): <u>3021601 - 302160108</u>	
Full Legal Description of Subject Property (Attached ☐):	
Zoning: <u>R-2 High Density residential</u>	
Special Areas On or Near Site (show areas on site plan):	
☐ Creek, Stream or River (name): _____	☐ Flood Hazard Area _____
☐ Wetland	☒ None
☐ Steep Slopes/Draw/Gully/Ravine	
Water Service	
Existing pipe size and material: <u>2" water from city</u>	
Proposed pipe size and material: <u>same</u>	
Sewage Disposal	
Existing: <u>city 6" line, 2 each</u>	
Proposed: <u>same</u>	
Access	
Name of Street(s) from which access will be gained: <u>Front Ave NW</u>	

Owner's Consent and Authorization

I affirm that I am the owner of the subject site and all answers, statements, and information submitted with this application are correct and accurate to the best of my knowledge. Further, I grant permission from the owner to any and all employees and representatives of the City of Castle Rock and other governmental agencies to enter upon and inspect said property as reasonably necessary to process this application.

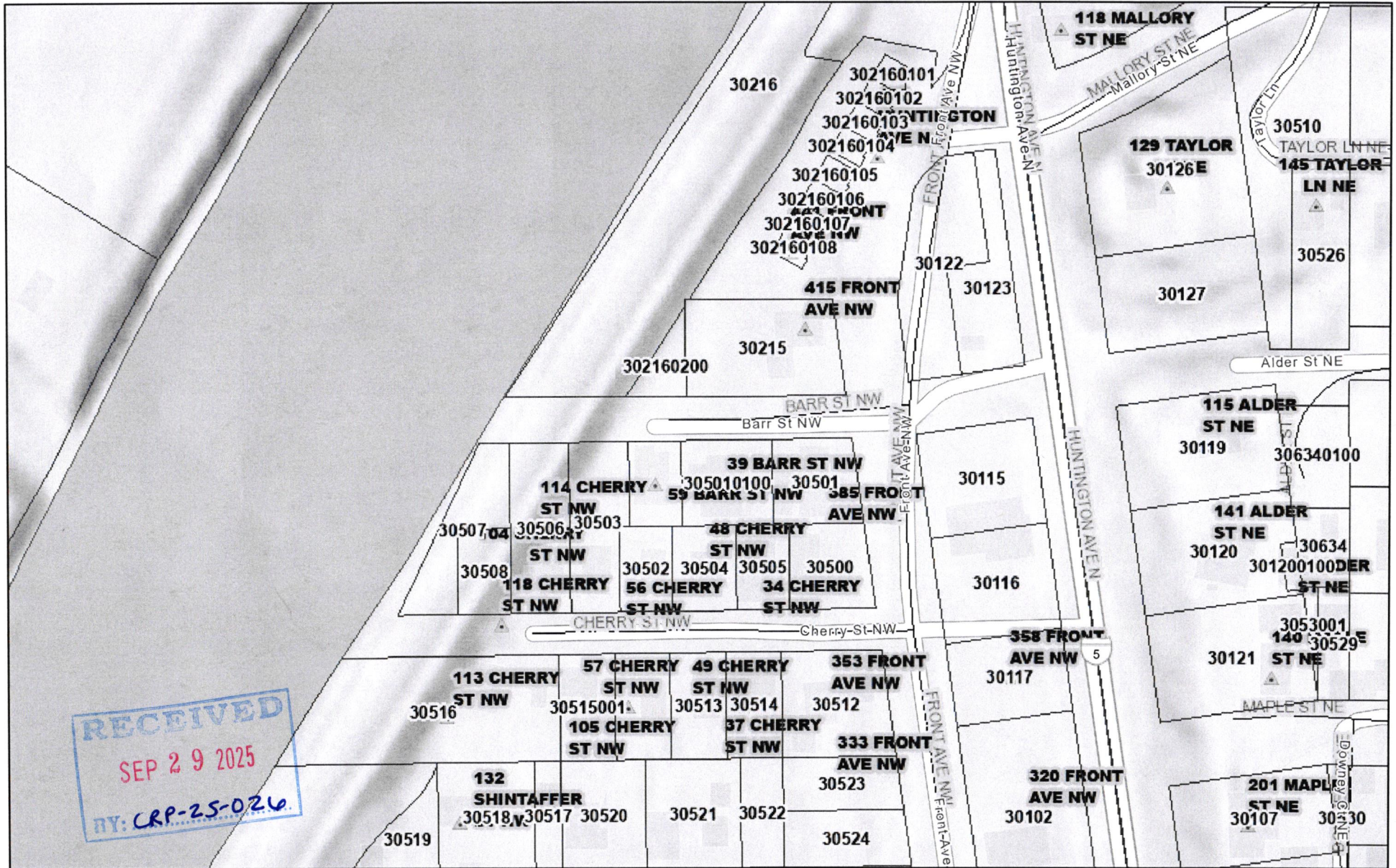
I agree to pay all fees of the City that apply to this application.

Michael Vase
Owner's Name (Print Name)

Michael Vase
Owner's Signature

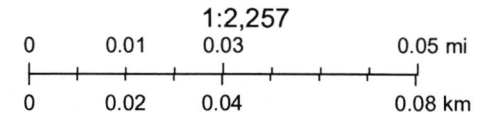
9/29/25
Date

Assessor Web Map



9/18/2025, 3:54:25 PM

- | | | | |
|----------------|-------------------------|-----------------------------|-------------------------|
| Tax Parcels | Streets | 2 RURAL PRINCIPAL ARTERIAL | 8 RURAL MINOR COLLECTOR |
| ADDRESS POINTS | 0 RURAL PRIVATE | 6 RURAL MINOR ARTERIAL | 9 RURAL LOCAL ACCESS |
| 1 INTERSTATE | 7 RURAL MAJOR COLLECTOR | 12 PRINCIPAL ARTERIAL (HWY) | |



Cowlitz County GIS Department, Cowlitz County GIS Department, Cowlitz County Assessor, Cowlitz County GIS Department, WA DNR., GDR produced

ArcGIS Web AppBuilder

